

## Planning Applications – Hollins Mill, Walsden

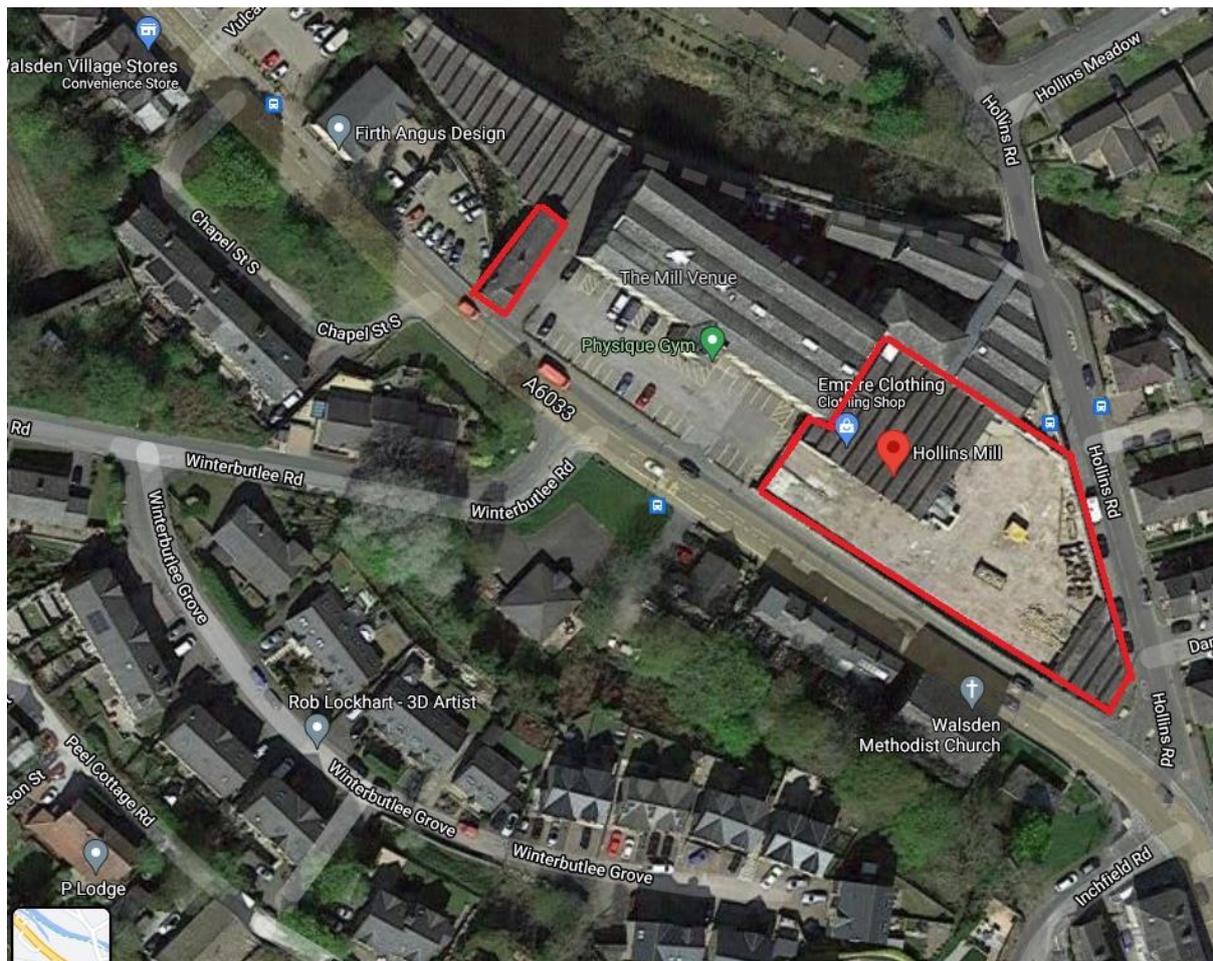
### 1. General

Hollins Mill, built in 1856-8 by Abraham Ormerod & Bros. is a grade 2 listed former cotton Mill and weaving shed on Rochdale Rd, Walsden. It comprises the original mill building, a former weaving shed on the right side (when facing from the road), as well as a separate building to the left side of the main mill (when facing from the road) which is described in the planning applications as the building on land to the West of Hollins Mill. There is also a building at the back. The main building is a multi-occupancy building including a gym, a children's play centre and a storage centre. There have been over thirty planning applications for the Hollins Mill site. These are at appendix 3.

TTC has received a complaint from [REDACTED], the owner of the mill, that the buildings surrounding the main building at Hollins Mill have been changed without appropriate planning permission or without the relevant planning permissions/conditions being adhered to.

The two sites of interest are the weaving sheds to the right side of the mill and the offices on the left side of the mill. Information about the relevant planning applications is below. It is not clear to what extent the conditions imposed on the two planning applications has been complied with and what interaction or monitoring has been taking place by Calderdale MBC.

#### Aerial View of Hollins Mill site



View of weaving yard site from inside (with 'Lego' blocks) with Hollins Mill in background



View of weavers yard before demolition



View of weavers yard since demolition



**2. Approved Planning Applications Relevant to the Weaving Shed**

Two planning applications/approvals relate to the work on the weaving sheds. The conditions applicable to the applications are at Appendix 1.:

**Ref. No: 17/00488/LBC** | Partial demolition and redevelopment of 25 bay weaving shed to form mixed use units with parking and service area (Listed Building Consent) | Hollins Mill Rochdale Road Todmorden Calderdale *Status: Consent*

**Ref. No: 17/00485/FUL** Partial demolition and redevelopment of 25 bay weaving shed to form mixed use units to include A1, A3, B1 (a, b and c), B2 and B8 with parking and service area. *Status – Consent*

There had previously been three applications for the weaving sheds between 2013 and 2014 but these were either refused or withdrawn.

### 3. Alleged Issues with Planning Applications Regarding Weaving Shed

The owners of Hollins Mill have alleged that:

- V Power began to the demolition of the weaving sheds in December 2019. At the same time, the concrete 'Lego bricks' were installed to form new units. These do not form part of the planning permissions. (see attached photos).
- The planning permission states – 'No demolition or development shall take place until a written scheme of archaeological investigation (WSI) has been submitted to and agreed by the Local Planning Authority in writing.' This did not happen.
- More of the original building was demolished than was approved.
- The planning permission also states – 'No demolition or development shall commence until a scheme of demolition and of implementation of development has been submitted to and agreed in writing by the Local Planning Authority. The scheme shall include a schedule of demolition works by the Local Planning Authority. The scheme shall include a schedule for demolition works including areas of demolition and method statement for protection of the 4 remaining bay structure including the cast iron construction, and the wall to Hollins Rd. The scheme shall also include a timescale for implementation of the development and details of the reuse of the natural stone and slate from areas of the demolition and any other facing and roofing materials required'. It is thought that this did not happen either.
- The boundary wall to Rochdale Rd and Hollins Rd has had the triangle weaving shed pieces removed, and has been lowered, with stone caps added on top, but not to the approved height of the planning permission. The wall should be at least half the height it currently is, to relieve pressure on the culvert below.
- The approved drainage plan has not been implemented. This is having a significant impact on the volume of surface water that now flows from this site and through Hollins Mill car park, then on to R Rochdale Rd. This is speeding up the wear on the tarmac on Hollins Mill car park. Prior to the sheds being demolished, and after the approved work has been built, the water would be sent into the sewer system, and have no impact on Hollins Mill car park or Rochdale Rd.

- The plans state that the existing slate and stone will be reused, to ensure it is in keeping with the rest of the mill complex. These materials were removed from the site during the demolition. There are no materials on site to be used in the rebuild.
- The 'design and access statement' gives four 'exceptional circumstances' where the council can approve a listed building to be demolished. Two of them are 'demolition will not cause harm to the setting of any other listed building or the character or appearance of a conservation area' and 'demolition and subsequent redevelopment will result in a community benefit'. Please see attached photos as it has looked since December 2019.
- Consultee comments: Both 'Amenity Bodies' and 'Historic England' raised concerns about the plans, and the amount of the existing building to be demolished. There was a detailed objection from [REDACTED], Endangered Sites Officer. There were 3 supporting comments from 2017; [REDACTED] on the basis that the development would bring employment to the area, much needed space for businesses and that it would improve the way this building looks.

#### **4. Planning Applications (Including that for a Dog Day Care Centre) Relevant the Building to the West of Hollins Mill**

There have been nine planning applications/amendments to planning applications for the building to the West of Hollins Mill. These give permission for the office block to be converted into two apartments.

1. Conversion of former office/warehouse building to form two dwellings (Amended red line) **Ref. No: 16/01406/FUL** | *Status: Permit*
2. Conversion of former office/warehouse building to form two dwellings (Amended red line) (Listed Building Consent) **Ref. No: 16/01490/LBC** | *Status: Grant Listed Building Consent*
3. Material Amendment to 16/01406, replacement of existing external metal stair with balcony **Ref. No: 16/01406/NMA** | *Status: Non Material Amendment Approved*
4. Material Amendment to 16/01406, replacement of existing external metal stair with balcony **Ref. No: 16/01490/NMA** | *Status: Non Material Amendment Refused*
5. Submission of information to Discharge Conditions on application 16/01406 - condition 4,7 and 8 **Ref. No: 16/01406/DISC1** | *Status: Partially Complied With*

6. Conversion of existing office building to form apartment and storage facilities. **Ref. No: 18/01066/FUL** | *Status: Permit*
  
7. Conversion of Existing Office Building to form 2 bed apartment and storage facilities. **Ref. No: 18/01067/LBC** | *Status: Grant Listed Building Consent*
  
8. Change of use B1A office to Sui Generis for indoor dog play area **Ref. No: 20/00318/FUL** | *Status: Refuse*
  
9. Alterations to interior layout (change of use to indoor dog play area from B1A offices ) to include new doorway, and stud walling. Repair to existing wall and new fence (Listed Building Consent) **Ref. No: 20/00319/LBC** | *Status: Grant Listed Building Consent*

Conditions applied to the planning permissions are at Appendix 2.

#### **5. Allegations about the Building to the West of Hollins Mill – Subject of Planning Application for a dog Care Centre**

The owners also allege that the conditions relating to the planning permission granted in 2017 (**16/01406/FUL**) and 2018 (**18/01066/FUL**) for the conversion of the existing office building for a 2 bed apartment and storage facilities were not adhered to:

- The property was being used as an antique shop (until the end of 2019). It is alleged that a change of use was not requested.
  
- It is alleged that the downpipes are broken and have not been replaced to the required specification. It is alleged that this causes surface flooding on the corner of Hollins Mill.
  
- As part of the planning applications, the windows were not changed to wood. The building still has UPVC windows.

View of building to West of Hollins Mill



View of building to west of Hollins Mill





UPVC window frame



## 6. Summary

Considerable demolition work and rebuilding has taken place where the weaving sheds were. It is difficult to know the extent to which Calderdale has monitored the work being done and that the conditions imposed were adhered to. It is worrying that potentially more of the building has been demolished than was originally permitted and that the original materials have potentially been removed from the site. It is very concerning that the raising of the height of the wall could be putting pressure on the culvert underneath and that potentially there is an increase in surface water in an area known for flooding. This could be an incident (like that of Shade Chapel) waiting to happen.

The building to the West of the Hollins Mill site is in poor state, the gutters and drainage pipes are in a very poor condition. UPVC windows are in place. The inside of the building, when looking through the door, has been left in a very poor state and is full of building clutter. The owner has previously let the building for use as an antiques centre without the change of use being approved. Currently this building is empty and is not being used.

## **Appendix 1 – Conditions Applied to Planning Applications for the Weaving Shed**

The applications were approved in December 2017. The conditions applied were that:

- The works must begin by 20 December 2021.
- No demolition or development to start until a scheme of demolition and of implementation of development has been submitted to and agreed in writing by the Local Planning Authority. The scheme to include a schedule of demolition works including areas of demolition and method statement for protection of the remaining 4 bay structure including the cast iron construction, and the wall to Hollins Road.
- The scheme should also include a timescale for implementation of the development and details of the reuse of the natural stone and slate from areas of demolition and any other facing and roofing materials required. The development shall be carried out in accordance with the approved details and be retained afterwards.
- No works to the windows and doors shall begin until details of the materials, treatment and/or colour of all windows and doors, including roller shutters have been submitted to and approved in writing by the Local Planning Authority. The windows and doors shall then be installed in accordance with the approved details and be retained afterwards.
- No demolition or development shall take place until a written scheme of archaeological investigation (WSI) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which will include the statement of significance and research objectives, and the programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

## **Appendix 2 – Conditions Applied to the Planning Applications for the Building West of Hollins Mill**

**16/01406/FUL** – Conversion of Former office/warehouse building to form two dwellings:  
Status: Permit

Approval was given in May 2017 (to be started by 2020) with the following conditions:

- The development shall be carried out in accordance with the schedule of approved plan listed in this decision notice unless variation of the plans is required by any other condition of this permission.
- Notwithstanding any details shown on the permitted plans, the doors and window frames shall not be installed until details of the materials (which shall not be plastic), treatment and/or colour of the window and door frames have been submitted to and approved in writing by the Local Planning Authority. The window and door frames shall then be installed in accordance with the approved details and shall be so retained thereafter.
- Prior to the first occupation of the residential dwellings hereby permitted, measures to facilitate the provision of high speed broadband for the residential units shall be installed and retained thereafter.
- The development shall not begin until details of a scheme for foul and surface water drainage , including existing systems to be re-used and diversions and details of any balancing works and off-site works, have been submitted to and approved in writing by the Local Planning Authority. The scheme so approved shall thereafter be implemented prior to the first occupation of any part of the development and shall be so retained thereafter.
- Notwithstanding any details shown on the permitted plans all new walling and the proposed new steps shall be constructed out of natural stone to match the existing building and shall be so retained thereafter.
- Before the development hereby permitted is first brought into use, all gutters, downpipes and other external plumbing shall be constructed out of timber or metal and finished in black and so retained thereafter.
- Prior to the conversion works commencing a scheme for the site layout, internal design and building specification of the development shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be such that the indoor ambient noise level within dwellings assessed in accordance with BS8233:2014, shall not exceed' 35dB LAeq, 1 hour in living rooms and bedrooms between 0700 hours and 2300 hours, and' 30dB LAeq, 15 mins in bedrooms between 2300 hours on one day and 0700 hours on the following day, and ' 40dB

L<sub>Aeq</sub>, 1 hour in dining rooms and dining areas between 0700 hours and 2300 hours, and ' The outdoor ambient noise level shall not exceed 55dB L<sub>Aeq</sub> on balconies and in gardens at any time.

- If the scheme is to rely on the windows of the dwellings being kept closed there shall also be submitted details as to how the dwellings will be adequately ventilated without compromising the façade insulation or the resulting noise level. The details of the scheme so approved shall then be implemented before the first occupation commences and shall be retained thereafter.
- Development shall not commence until actual or potential land contamination at the site has been investigated and a Preliminary Risk Assessment (Phase I Desk Study Report) has been submitted to and approved in writing by the local planning authority.
- Where further intrusive investigation is recommended in the Preliminary Risk Assessment development shall not commence until a Phase II Intrusive Site Investigation Report has been submitted to and approved in writing by the local planning authority.
- Where site remediation is recommended in the Phase II Intrusive Site Investigation Report development shall not commence until a Remediation Strategy has been submitted to and approved in writing by the local planning authority. Remediation of the site shall be carried out and completed in accordance with the Remediation Strategy so approved. In the event of contamination not previously considered being identified the local planning authority shall be notified of the extent of that unforeseen contamination and of the further works necessary to complete the remediation of the site.
- Following completion of all remediation measures a Validation Report shall be submitted to the local planning authority. Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remediation measures for the whole site have been completed in accordance with the approved Remediation Strategy and a Validation Report in respect of those remediation measures has been approved in writing by the local planning authority.
- The development permitted by this planning permission shall be carried out in accordance with the approved Flood Risk Assessment (FRA) KRS Environmental, January 2017 KRS.0272.001.R.001.B, and the following mitigation measures detailed within the FRA: Finished floor levels shall be set no lower than 154.85 m above Ordnance Datum (AOD)The flood resilience and resistance measures highlighted in sections 6.3 and 6.4. of the FRA shall be fully implemented. The mitigation measures shall be fully implemented prior to the occupation of either dwelling.

The planning conditions imposed on **Ref. No: 18/01066/FUL** were:

Approval was given on 18 December 2018 and the work must be started by 18 December 2021. The following conditions were set:

- The development shall be carried out in accordance with the schedule of approved plans listed above in this decision notice unless variation of the plans is required by any other condition of this permission.
- Notwithstanding any details shown on the permitted plans, the doors and window frames shall not be installed until details of the materials (which shall not be plastic), treatment and/or colour of the window and door frames have been submitted to and approved in writing by the Local Planning Authority. The window and door frames shall then be installed in accordance with the approved details and shall be so retained thereafter.
- The development shall not begin until details of a scheme for foul and surface water drainage, including existing systems to be re-used and diversions and details of any balancing works and off-site works, have been submitted to and approved in writing by the Local Planning Authority. The scheme so approved shall thereafter be implemented prior to the first occupation of any part of the development and shall be so retained thereafter.
- Notwithstanding any details shown on the permitted plans all new walling and the proposed new steps shall be constructed out of natural stone to match the existing building and shall be so retained thereafter.
- Before the development hereby permitted is first brought into use, all gutters, downpipes and other external plumbing shall be constructed out of timber or metal and finished in black and so retained thereafter.
- Prior to the conversion works commencing a scheme for the site layout, internal design and building specification of the development shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be such that the indoor ambient noise level within dwellings assessed in accordance with BS8233:2014, shall not exceed ' 35dB LAeq, 1 hour in living rooms and bedrooms between 0700 hours and 2300 hours, and ' 30dB LAeq, 15 mins in bedrooms between 2300 hours on one day and 0700 hours on the following day, and ' 40dB LAeq, 1 hour in dining rooms and dining areas between 0700 hours and 2300 hours, and ' The outdoor ambient noise level shall not exceed 55dB LAeq on balconies and in gardens at any time.
- If the scheme is to rely on the windows of the dwellings being kept closed there shall also be submitted details as to how the dwellings will be adequately ventilated without compromising the facade insulation or the resulting noise level. The details of the scheme so approved shall then be implemented before the first occupation commences and shall be retained thereafter.
- Development shall not commence until actual or potential land contamination at the site has been investigated and a Preliminary Risk Assessment (Phase I Desk Study Report) has been submitted to and approved in writing by the local planning authority. Where further intrusive investigation is recommended in the Preliminary Risk Assessment development shall not commence until a Phase II Intrusive Site Investigation Report has been submitted to and approved in writing by the local planning authority. Where site remediation is recommended in the Phase II Intrusive Site Investigation Report development shall not commence until a Remediation Strategy has been submitted to and approved in writing by

the local planning authority. Remediation of the site shall be carried out and completed in accordance with the Remediation Strategy so approved. In the event of contamination not previously considered being identified the local planning authority shall be notified of the extent of that unforeseen contamination and of the further works necessary to complete the remediation of the site. Following completion of all remediation measures a Validation Report shall be submitted to the local planning authority. Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remediation measures for the whole site have been completed in accordance with the approved Remediation Strategy and a Validation Report in respect of those remediation measures has been approved in writing by the local planning authority.

- The development shall be carried out in accordance with the submitted flood risk assessment (KRS Environmental, ref KRS.0272.001.R.001 B, dated January 2017) and the following mitigation measures it details: Finished floor levels shall be set no lower than 154.85m above Ordnance Datum (AOD). There shall be no ground floor sleeping arrangements. The flood resistance and resilience measures specified in sections 6.3 and 6.4 are fully implemented. These mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the scheme's timing/phasing arrangements. The measures detailed above shall be retained and maintained thereafter throughout the lifetime of the development.

Application **Ref. No: 18/01067/LBC** was approved on 18 December 2018 and it stated that work must begin by 18 December 2021. The conditions applied were:

- Notwithstanding any details shown on the permitted plans, the doors and window frames shall not be installed until details of the materials (which shall not be plastic), treatment and/or colour of the window and door frames have been submitted to and approved in writing by the Local Planning Authority. The window and door frames shall then be installed in accordance with the approved details and shall be so retained thereafter.
- The pointing shall not begin until details of the method and composition of pointing have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be constructed in accordance with the pointing details so approved and shall be so retained thereafter.
- Notwithstanding any details shown on the permitted plans all new walling and roofing shall be constructed out of natural stone and blue slate to match the existing building and shall be so retained thereafter.
- Before the development hereby permitted is first brought into use, all gutters, downpipes and other external plumbing shall be constructed out of timber/metal and finished in black and so retained thereafter.

- In accordance with details identified on page 7 of the Heritage Statement prepared by ██████████ Woodcote Design in connection with Listed Building Consent reference 16/01490/LBC, the remaining timber panelled reveals in the ground floor windows shall be so retained. The reasons for the Councils decision to grant an approval for the development subject to the above additional conditions are: In the interests of the character and visual amenity of the area and to ensure compliance with policy BE14 of the Replacement Calderdale Unitary Development Plan and Section 16 of the National Planning Policy Framework. In the interests of the character and visual amenity of the area and to ensure compliance with policy BE14 of the Replacement Calderdale Unitary Development Plan and Section 16 of the National Planning Policy Framework. To ensure the use of appropriate materials in the interests of visual amenity and to ensure compliance with policy BE14 of the Replacement Calderdale Unitary Development Plan.
- To ensure a satisfactory appearance in the interests of visual amenity and to ensure compliance with policy BE14 of the Replacement Calderdale Unitary Development Plan.
- In order to protect the character and historic accuracy of the building and to ensure compliance with policy BE14 of the Replacement Calderdale Unitary Development Plan.

At no stage was a change of use permission given for the building to be used as an antique shop (which it was during 2019, if not before). The antique shop closed towards the end of 2019. Planning permission for a dog day care centre was applied for in 2020 and declined. The owners of Physique Gym led this planning application and they had planned to open the centre on 1 May 2020. Work to prepare the dog day care centre was already underway before the planning application was submitted and progress with this was advertised widely on Facebook. The full planning application for the dog day care centre was refused in August 2020. Strangely, the listed building planning application in 2020 was approved.

The building is currently in a very poor state of repair with broken downpipes in varying colours, bricked in windows downstairs and (what look to be new) upvc windows upstairs. This goes against the planning approval conditions. The inside looks in poor repair too.

### **Appendix 3 – Comprehensive List of Planning Applications for Hollins Mill**

1. Change of use of vacant floors on mill building to 33 self-contained flats Ref. No: 01/01244/COU | Status: Deemed Withdrawn
2. To display single sided directional sign Ref. No: 83/10057/ADV | Status: Refuse
3. Change of use from industry to retail army surplus store Ref. No: 84/00998/COU | Status: Permit
4. Proposed stone cleaning of all facades of existing, listed four storey mill building (Listed Building Consent) Ref. No: 05/00471/LBC | Status: Grant Listed Building Consent
5. Manufacture and installation of new, bespoke double glazed timber window units into existing listed four storey mill building (Listed Building Consent) Ref. No: 05/00472/LBC | Status: Grant Listed Building Consent
6. 2 x 9m x 0.9m Banner Signs & 1 large 13m x 3.7m Banner Sign (Retrospective) (Listed Building Consent) Ref. No: 06/02446/LBC | Status: Refuse Listed Building Consent
7. 2 x 9m x 0.9m Banner Signs & 1 large 13m x 3.7m Banner Sign (Retrospective) (Advertisement Consent) Ref. No: 06/10075/ADV | Status: Refuse Consent
8. Proposed part demolition of northlight shed (Listed Building Consent) Ref. No: 08/01553/LBC | Status: Withdrawn
9. Proposed demolition of part of existing north light shed (Listed Building Consent) Ref. No: 09/00843/LBC | Status: Withdrawn
10. Change of use form workshop/storage to children's indoor play Ref. No: 13/00910/COU | Status: Permit
11. Conversion of workshop/storage unit to children's play area (Listed Building Consent) Ref. No: 13/01138/LBC | Status: Grant Listed Building Consent

12. Demolition of single storey 25 bay Weaving Shed (Listed Building Consent to Demolish) Ref. No: 13/01281/LBD | Status: Refuse Listed Building Consent
  
13. Demolition of single storey 25 bay Weaving Shed (Listed Building Consent to Demolish Ref. No: 14/00595/LBD | Status: Withdrawn
  
14. Demolition of single storey 25 bay Weaving Shed and remove culvert roof to return Walsden Water to open flow (Listed Building Consent to Demolish) Ref. No: 14/00976/LBD | Status: Refuse Listed Building Consent
  
15. Conversion of former engine room, boiler room and workshop buildings to form 12 No flats with communal lift, stair and storage area. Upgrading of parking area in existing courtyard. Re-cladding of existing goods lift to 4 storey former spinning mill Ref. No: 14/01376/CON | Status: Permit
  
16. Conversion of former engine room, boiler room and workshop buildings to form 12 No flats with communal lift, stair and storage area. Upgrading of parking area in existing courtyard and re-cladding of existing goods lift to 4 storey former spinning mill (Listed Building Consent) Ref. No: 14/01377/LBC | Status: Grant Listed Building Consent
  
17. Conversion of former engine room, boiler room and workshop buildings to form 13 No flats with communal lift, stair and storage area. Upgrading of parking area in existing courtyard. Re-cladding of existing goods lift to 4 storey former spinning mill (Amendment to application 14/01376/CON) Ref. No: 16/00031/CON | Status: Permit
  
18. Conversion of former engine room, boiler room and workshop buildings to form 13 No flats with communal lift, stair and storage area. Upgrading of parking area in existing courtyard. Re-cladding of existing goods lift to 4 storey former spinning mill (Amendment to application 14/01377/LBC) (Listed Building Consent) Ref. No: 16/00032/LBC | Status: Grant Listed Building Consent
  
19. Submission of information to Discharge Conditions on application 16/00031 Ref. No: 16/00031/DISC1 | Status: Partially Complied With
  
20. Submission of information to Discharge Conditions on application 16/00032 Ref. No: 16/00032/DISC1 | Status: Partially Complied With
  
21. Conversion of former office/warehouse building to form two dwellings (Amended red line) Ref. No: 16/01406/FUL | Status: Permit

22. Conversion of former office/warehouse building to form two dwellings (Amended red line) (Listed Building Consent) Ref. No: 16/01490/LBC | Status: Grant Listed Building Consent

23. Material Amendment to 16/01406, replacement of existing external metal stair with balcony Ref. No: 16/01406/NMA | Status: Non Material Amendment Approved

24. Material Amendment to 16/01406, replacement of existing external metal stair with balcony Ref. No: 16/01490/NMA | Status: Non Material Amendment Refused

25. Change of external fire escape stair to balcony and internal alterations to proposed staircases (Amendment to application 16/01490/LBC) (Listed Building Consent) Ref. No: 18/00192/LBC | Status: Grant Listed Building Consent

26. Submission of information to Discharge Conditions on application 16/01406 - condition 4,7 and 8 Ref. No: 16/01406/DISC1 | Status: Partially Complied With

27. 17/00488/LBC | Partial demolition and redevelopment of 25 bay weaving shed to form mixed use units with parking and service area (Listed Building Consent) | Hollins Mill Rochdale Road Todmorden Calderdale Status: Consent

29. Conversion of existing office building to form apartment and storage facilities. Ref.

31.

32. Change of use B1A office to Sui Generis for indoor dog play area Ref. No: 20/00318/FUL | Status: Refuse

o The proposal is not considered to satisfy RCUDP policy EP8 and Section 15 170 ( e) and 180(a) of the NPPF due to adverse impact on sensitive receptors .

o The submitted FRA does not comply with RCUDP Policy EP20 and the requirements for site-specific flood risk assessments, as set out in paragraphs 30 to 32 of the Flood Risk and Coastal Change section of the planning practice guidance. The FRA does not therefore

adequately assess the flood risks posed by the development. In particular, the FRA fails to: Consider how people will be kept safe from the identified flood hazards or consider how a range of flooding events (including extreme events) will affect people and property.

o The proposal does not consider the requirement for flood emergency planning including flood warning and evacuation of people for a range of flooding events up to and including the extreme event.

o Take the impacts of climate change into account. There is no assessment of the impact of climate change using appropriate climate change allowances. As this is a "less vulnerable" application, the 20% allowance should be assessed.

o The FRA has not stipulated any finished floor levels. These should be provided in mAOD and assessed in conjunction with the design flood levels to understand flood risk posed to the site.

o Additionally, the FRA has not proposed any resistance and resilience measures or identified safe access and egress routes.

33. Alterations to interior layout (change of use to indoor dog play area from B1A offices ) to include new doorway, and stud walling. Repair to existing wall and new fence (Listed Building Consent) Ref. No: 20/00319/LBC | Status: Grant Listed Building Consent

It is alleged that a toilet has been built downstairs although this was not part of the submitted plans. There is evidence on Facebook that building was taking place prior to the decision on the planning application. The advertised date for opening was stated as 1 May 2020 although it later said that this would be delayed because of Covid19.

in accordance with the application and plans approved by the Council on 20.08.2020 the work should begin by 20 August 2023.

The stated conditions are that:

- The development shall be carried out in complete accordance with the approved plans unless the variation from approved plans is required by any other condition of this permission.

- The development shall not begin until details of the treatment of the mesh fencing have been submitted to and approved in writing by the Local Planning Authority. The treatments so approved shall then be provided in full prior to the first occupation of thereafter shall thereafter be retained.
- Prior to the first occupation of the building; hereby permitted, details of the door and frame, finishes and colour (UPVC shall not be acceptable material), shall have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with those approved details and shall be so retained thereafter.